

Rev01 - incorrect clause numbers amended.

Leloko Lifestyle & Eco Estate

WELCOME

Leloko Lifestyle & Eco Estate is a unique development that allows you an opportunity to be part of defining a South African approach to space and place making.

The architecture is an interpretation of what we feel contemporary South African architecture could be. Rooted in our South African way of life, our environment, our warm climate, colour, texture and materiality.

To maintain the value and integrity of the development all new home designs as well as proposed alterations and additions will be reviewed by the Leloko Design Review Committee (LDRC), to ensure compliance with the rules contained in this document.

The LDRC are appointed by the Homeowners Association and consist of Professional Architects, directors of the board and HOA management.

The LDRC reserves the right to refuse aesthetic approval of any submission which is deemed to conflict with the Architectural Design Rules or conflict with the original intent of the design rule.

The LDRC also reserves the right to suggest and enforce alternative design solutions which are more sensitive to the overall aesthetics of the Estate.

Should there be any matters not covered in the Architectural Design Rules and in the event of any difference of interpretation, the LDRC shall make a ruling, which shall be binding.

The purpose of these rules is to establish and develop a series of mechanisms that will ensure:

- The implementation and reinforcement of the design vision from design inception to construction and eventually estate management and maintenance.

- That each project contributes positively to the overall environment, both in terms of the building itself and its associated landscaping.

- The balance of the rights of each property owner in respect of privacy and views.

- A high standard of design and construction.

These rules only address part of the estate procedures and must be read in conjunction with the Leloko Estate Conduct Rule, MOI and Building Procedures. They do not replace any of the statutory requirements such as the National Building regulations, Occupational Health and Safety Act or the requirements of the Local Authority.

On occasion this document may be reviewed, but there is no intention to alter the general principles or overall rules and characteristics as set out below.

Please ensure that you are always working from the latest documents.

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APPENDIX A (NEW BUILD, ADDITIONS, ALTERATIONS & AS BUILT)

1. DESIGN REVIEW COMMITTEE'S CONTACT DETAILS

Leloko Office

Contact Person: Admin and Debtors Manager
012 200 1016
admin@lelokohoa.co.za

Operations Manager
068 453 0803
operationsmanager@lelokohoa.co.za

2. APPOINTING AN ARCHITECTURAL PROFESSIONAL

Only registered Professional Architects or Professional Senior Architectural Technologist will be permitted to submit plans for review.

A copy of the architectural professionals valid SACAP registration certificate as well as a copy of their Professional Indemnity Insurance Certificate is to be submitted with the stage 1 submission.

Please contact the estate office at admin@lelokohoa.co.za for a list of accredited professionals.

3. REVIEW FEES

Please contact the estate office for the latest review fees (Annexure ADR1). Fees can be changes by the HOA without prior notice.

4. GUIDANCE ON WHEN AESTHETICS APPROVAL IS REQUIRED

Owners intending to carry out any on the following activities (amongst others) must obtain prior written approval from the LDRC.

- New buildings
- External alterations and additions to existing buildings
- Swimming pools, pergolas, external paving
- Boundary walls, gates, or any landscaped construction
- Installation of satellite dishes, air-conditions, rainwater tanks, heat pumps, solar and photovoltaic panels
- Any installation which changes the external aesthetic of the structure or stand
 - including but not limited to, Tool sheds, jungle gyms, fire pits, decorative art, fountains etc.
- Any application that requires council approval (Local Municipality of Madibeng)

No vacant stand can be developed, and no extensions or alterations can be made to existing structures that are inconsistent with the essence or style prescribed in these rules.

Building plans submitted and approved by the LDRC expire after 12 months if construction has not commenced within that period. All plans which have expired will require resubmission and review based on the latest version of the design rules. A resubmission fee is applicable.

Madibeng approval also expires after 12 months from the date of municipal approval unless construction of the building has officially started. If the drawings have expired, resubmission to Madibeng is also required.

5. PROCEDURE FOR SUBMITTING TO THE AESTHETICS COMMITTEE

Before drawings can be submitted to the local municipality of Madibeng, they must be submitted for reviewed and approved by the LDRC.

All Leloko Lifestyle Estate levies must be paid up to date.

Proof of payment of the scrutiny fee must be emailed to admin@lelokohoa.co.za

Appendix A must be completed by the SCACP registered professional as well as the owner and emailed to reception@lelokohoa.co.za

Once POP and Appendix A have been received by the estate, a Dropbox folder will be created into which the SACAP registered professional must load all relevant info for stage 1 submission. An email must be sent to reception@lelokohoa.co.za confirming that stage 1 has been loaded into the Dropbox folder. This marks the start of the review process.

Appendix B (NEW BUILD) or C (ADDITIONS, ALTERATIONS & AS BUILT) (in your welcome folder on Dropbox) must be completed and submitted to your Stage 1 Dropbox folder, with all the relevant drawings and certificates.

Appendix B and C MUST ONLY be completed electronically (please **do not** print and scan).

Feedback of the stage 1 review will be loaded into the stage 1 feedback folder. An email will be sent to the SACAP registered professional notifying him/ her of the feedback.

Submission 2, 3, 4 etc follows the same procedure.

Please refer to Appendix B or C for more info on the submission process.

If there are negative comments after the third review, and the SACAP registered professional requires guidance with regards to the architectural rules, a zoom meeting can be set up with the design review committee to assist them. Note, there is a fee for this meeting.

Feedback will be provided by the LDRC within 5 working days of each submission. Once the review process has started, the SACAP registered professional and owner have a period of two months in which to submit a set of drawings that comply to these architectural design rules. Should this time be exceeded by no fault of the LDRC, additional review fees of R2 400.00 will be invoiced monthly until drawings which conform have been submitted and approved.

To maintain the intended high standards of the development, it is recommended that the owner and his appointed architectural professional view houses that have already been built in the Estate before finalising their designs and building plans. It will avoid the tendency to create individual monuments which would be detrimental to the intended character of the Estate as a whole.

Please note that your design will be reviewed based on the latest set of guidelines and that some constructed houses might not comply fully to the current rules and must thus not be used as precedents.

5.1. STAGE 1 – DESIGN CONCEPT – Electronic Submission to Dropbox (NEW BUILD)

Electronic PDF drawings as well as all the required documents must be uploaded to the Submission 1 folder.

Drawings, specifications, and documents submitted for review are to clearly indicate the SACAP registered professionals, name, registration number, category of registration – PrArch or PrSArchT and the name of his or her architectural practice.

Stage 1 review focuses on the suitability of the design concept and the general technical understanding of the design rules. This is a preliminary review by the LDRC to resolve issues with regards to design and the technical compliance. The feedback must be regarded as introductory and is in no way a comprehensive scrutiny based on the entire set of guidelines.

The following is the minimum information that must be submitted for Stage 1. Also refer to Appendix B in your welcome folder (Dropbox) for a detailed guide of the submission process.

- **Certificates**

- **Professional Architect / Professional Senior Architectural Technologist**

- Valid SACAP Certificate
 - Valid Professional Indemnity Insurance Certificate

- **Professional Land Surveyor**

- Proof of registration with SAGC - in the form of a letter of current good standing
 - Proof of current Professional Indemnity cover
 - Property Survey Plan (see clause 6)

- **Development data table**

- Coverage – area and %
 - Floor Area – area and ratio
 - % of flat concrete roofs and balconies

- **Accurate 3D COLOUR images of all elevations**

- Architectural language
 - The LDRC will give your design a rating (A, B or C) which will show how much the design reflects the understanding of the guidelines and architectural language.
 - A** aesthetically the design is spot on
 - B** changes required
 - C** please read the latest Architectural Design Rules
 - Privacy – Balconies and external stairs
 - Scale and Proportion

- Plan Forms – Primary, Secondary, Minor and Modern, Minimalist forms.
 - Architectural design of roofs
 - type, pitch, and colour
 - Roof overhang and parapet walls
 - Finishes, materials and colours
 - Horizontal line for finished floor level/s (use levels relative to the actual contour levels)
 - Horizontal line for max height restriction/s (use levels relative to the actual contour levels)
 - Windows to be correct proportions and size.
- **Locality Plan**
 - Google earth image or master plan ERF layout
 - Clearly mark your ERF location
- **Site Plan and Floor Plans**
 - ERF numbers, boundary lines and lengths
 - North arrow
 - Contours and all surveyed info
 - Proposed position of all structures
 - Neighbouring structures
 - Orientation
 - Site access
 - Building lines
 - Boundary walls
 - Type (street, green belt and common)
 - Position and height
 - Yard walls
 - Position and height
 - Swimming pools
 - Position and all safety measures
 - Paving and hard landscaping
 - Position and type
 - Landscaped areas
 - Sewer and water connections

5.2. STAGE 2 – COUNCIL DRAWINGS – Electronic Submission to Drop Box (NEW BUILD)

All comments from stage 1 and all other info as required by the local municipality must be added to the drawings. Please note that it remains the SACAP registered professionals' responsibility to ensure that the drawings submitted comply to the estate rules, National building regulations and Building Standards, SANS 10400, Occupational Health, and safety Act and or any statutory requirement.

Site Plan	Scale 1:100
Floor Plans	Scale 1:50
Roof Plan	Scale 1:100 or 1:50
Elevations	Scale 1:100
Sections	Scale 1:50
Lighting layout	Scale 1:100 or 1:50
Window Schedule	Scale 1:50
Boundary wall specifications and details	Scale 1:20 – 1:50
Balustrade specifications and details	Scale 1:20 – 1:50
Gate specifications and details	Scale 1:20 – 1:50
Typical notes	

Your design must respond to a comprehensive solution that embraces elements of sustainable design. At minimum, the relevant legislative restrictions contained within SANS 10400 XA "Environmentally Sustainability and Energy Usage in Buildings" and "SANS 204 Energy Efficiency in Buildings" must be clearly indicated on your drawings.

Please note on your drawings that the contractor is to adhere to the approved plans and construct the house according to the approved drawings. No deviations are allowed without the prior written consent of the LDRC. Request for changes are to be emailed to the estate office at operationsmanager@lelokoha.co.za

The building deposit will not be refunded until the house has been constructed as per the approved plans. A monthly penalty fine could also be added to your levy.

All deviations must be corrected at the owner's cost.

6. PROPERTY SURVEY

All new properties must be surveyed by a professional land surveyor.

The surveyed plan must be uploaded to your submission 1 folder in PDF format together with the Professional Land Surveyors letter of good standing and PI insurance.

The following must be indicated.

- Contours at a minimum of 500mm intervals
- Fixed datum level (benchmark) – eg: top of an existing manhole.
- boundary line dimensions
- servitudes
- existing vegetation
- lamp poles, road signs, electrical boxes etc.
- kerb line and level
- municipal drainage connections
- electrical and water connection
- fibre connection
- existing neighbours boundary walls (if applicable)

The surveyed info must also be incorporated onto the site plan.

A Professional Land Surveyor (the same surveyor as approved during your design submission) must peg the building footprint and must also confirm that the foundations have been correctly positioned - a certificate confirming that the building has been correctly positioned must be submitted prior to the stage 1 building control inspection being signed off.

7. SITE CONSTRAINTS

7.1. Orientation

All designs should aim to orientate the main living areas towards the North to achieve max solar gain. Refer to SANS 10400 XA and 204.

7.2. Privacy

Due consideration of the neighbours privacy must be exercised during the design process, both for existing residents and future homes.

Overlooking of a neighbours Northern living space must be avoided where possible. A solar passive design encourages minimal fenestration on the southern side, which helps address overlooking onto the Northern living areas of your neighbour.

Balconies are unrestricted on street and greenbelt boundaries and on boundaries which overlook a double panhandle (2 x 3.5-meter-wide panhandle).

Balconies (including enclosed roofed first floor balconies) are permitted on other common boundaries but must be more than **4 meters** from the boundary. Should these balconies overlook your neighbours northern living area (existing or future homes) adequate privacy screening will need to be installed. These screens will need to be submitted to the LDRC for approval.

Screens must be at least 1.0m high measured from the balcony floor and must be constructed from one of the following materials.

- Frameless sandblasted glass panels (similar to a frameless balustrade)
- Timber lattice or similar (timber must be spaced or overlapped so as not to allow a view through the screen)
- Steel screens (laser cut or similar) approval is at the sole discretion of the LDRC.
- The extension of a parapet wall or other types of brick or concrete screen walls are not permitted.

Balconies (including enclosed roofed first floor balconies) within 4 meters of the boundary will only be considered by the LDRC on an individual basis. Adequate privacy screening will need to be installed. Screens must be at least 1.5m high measured from the balcony floor. These screens will need to be submitted to the LDRC for approval (see above screening options).

7.3. Site Access

No driveway or access to the property is permitted along the main boulevards unless no side roads are available.

Only one driveway is permitted per stand with a max paved width of 5m. For additional garages that face the street or for additional street parking the width of the driveway can be increased to a max paved area not exceeding 10m along the street boundary. For every 5m of street paving, a 2.0m landscaped strip must be allowed which extends from the kerb to the boundary line.

Two separate driveways to a single house is not permitted and will not be approved.

A max of two double garages are permitted to face the street.

Caravans and boats must be stored in enclosed garages. Trailers may be kept on site on condition that they are not visible from the street or green belts.

7.4. Zoning

The individual freehold properties are zoned "Residential 1".

The sectional title properties are zoned "Residential 2".

No rezoning for any higher use will be allowed

7.5. Coverage

Coverage is the percentage area of a property covered by the roofed area of all buildings as seen vertically from above but does not include a structure or building that has no roof. Main dwellings, garages, outbuildings, covered patios, verandas and carports must all be included in your coverage calculation.

Pergolas are excluded.

Coverage for Residential 1 erven is restricted to a **MAX of 40%** of the property size.

7.6. Floor Area Ratio – FAR

FAR is the ratio of the floor area of a building to the total area of the property on which such building is erected or is to be erected. Main dwellings, garages, outbuildings, covered patios, verandas and carport structures must all be included in your FAR calculation.

Residential 1 is restricted to a **MAX FAR of 0.8**

7.7. Minimum House Sizes Per Phase

Phase 1 - Blazing Sky	-	140m ²
Phase 2 - Burnt Stone	-	170m ²
Phase 3 - Dark Wood	-	210m ²
Phase 4 - Ancient Earth	-	255m ²
Phase 5 – Sacred Waters	-	330m ²

7.8. Building Lines

The building lines must comply to the approved zoning.

Building line relaxations will not be permitted.

No structure may be constructed within the building lines except boundary walls, yard and screen walls.

No building structure is permitted in the panhandles.

Street Building Lines: **3 meters**

All other side Building Lines: **2 meters**

7.9. Height Restriction

Residential 1 stands are restricted to 2 storeys

Residential 2 stands are restricted to 3 storeys.

The Primary Building Forms are limited to an overall maximum height of 9,0m from finished floor level to the apex of the pitched roof.

The wall plate height of single storey structure may not exceed 4,0m measured from finished floor level.

The finished floor level shall be a maximum of 500mm above the natural ground level at any point.

The above level restriction can be relaxed if the level difference over the usable area of your stand (excluding the panhandle) is in excess of 3.0m. Approval is at the sole discretion of the LDRC. The max height restriction of 9m must still be calculated from 500mm above NGL for the section of FFL that the relaxation is applicable to.

Your new home should ideally step in response to the slope of the site.

Chimneys are excluded from this restriction.

7.10. Scale & Proportion

The architectural language of the estate is intended to be well-proportioned and of human scale thereby avoiding unnecessarily large building masses and forms. To achieve this, consider a simple narrow depth rectilinear plan form which steps to respond to the natural topography with well-defined primary and secondary forms which are separately roofed.

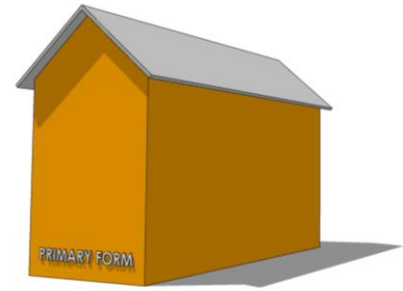
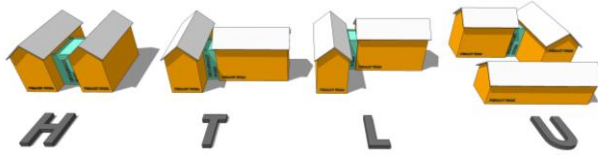
The Your new home must integrate into its surroundings, both natural and architectural.

8. PLAN FORMS

8.1. The Primary Form - Double Pitch Roofs

A simple definition of the primary form would be a rectangular shape with simple articulated gable ends, and a double pitched triangular roof (40° or 45°)

The combination and grouping of primary forms determine the layout of your plan form. Primary forms can be arranged in H, T, L and U shapes and combinations thereof. These plan forms create private and semi-private courtyard spaces and allow for the interaction between internal living spaces and external garden courtyards.



At least 60% of your design must consist of primary forms. Measured in plan view, flat concrete balcony slabs can be excluded from this calculation.

The roofing material of the primary form must be one of the following CONCRETE ROOF TILES, FIBRE CEMENT SLATE, SHINGLES or PRE-PAINTED SHEET METAL. Refer to clause 9.1 and 9.2 below.

The Primary forms must,

always read as the tallest strongest component of the design.

where there is more than one primary form, the primary forms must be linked with a secondary form. Clause 8.2

be a simple ¹ **rectangular** form with ² **articulated symmetrical gable ends** (the gable end is **always** the narrower dimension).

have a simple linear symmetrical double pitched roof of 40° or 45°.

have the roof pitch spanning the narrower of the plan dimension.

be individually roofed.

be parallel or perpendicular to each other.

have large overhangs of at least 300mm.

have a wall plate level of at least 340mm above the parapet wall of the secondary and minor forms. Should the overhang be greater than 300mm then this dimension must be increased to provide sufficient space between the roof edge of the primary form and the parapet wall of the secondary form.

¹ Definition of **Rectangular**

As a guide the golden rectangle must be used to achieve the correct proportions of your primary form.

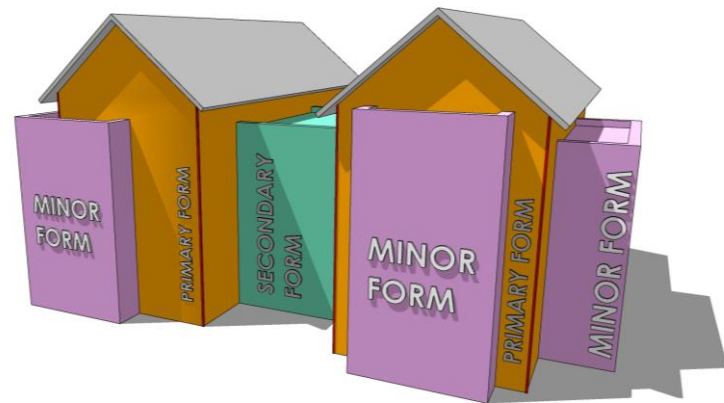
The proportion of the golden rectangle is 1 : 1.618.

If for example your gable end is 5m, then the longer dimension must be approximately 8.09m.

² Definition of **Articulated Symmetrical Gable Ends**

No secondary or minor form can link to the gable end without a step of at least 230mm (see image).

At least one of the gable corners, on every gable end (highlighted in red) must always be exposed.



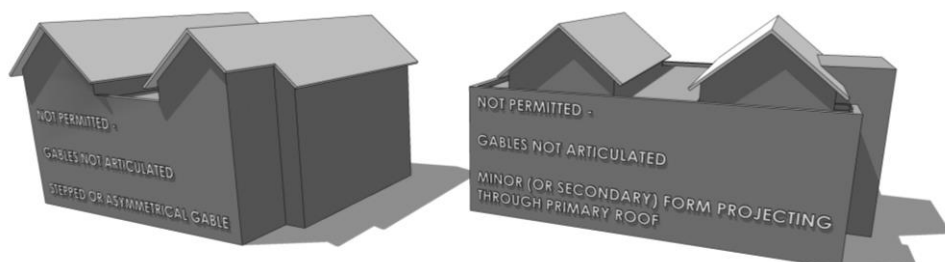
Primary forms must not have,

stepped and asymmetrical gable ends

parapet gable ends

hips and valleys

small dormer roofs



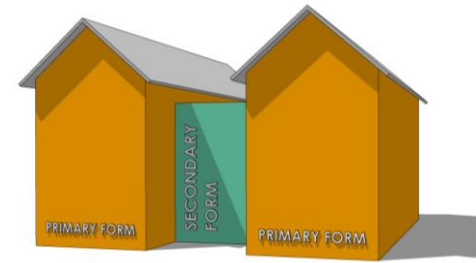
8.2. Secondary Form - Flat Concrete Roof – Connecting Element

Separation of primary forms with smaller flat roofs reduces the overall scale and height of the dwelling.

Where there is more than one primary form, the primary forms must be linked with a flat concrete roof (secondary form).

All secondary forms must have parapet walls.

The roof of a single store secondary and minor form may be used as a balcony on condition that it is accessible from a 2 storey primary form.



8.3. Minor Form – Flat Concrete Roofs and Balcony Slabs

Flat concrete roofs and balcony slabs must

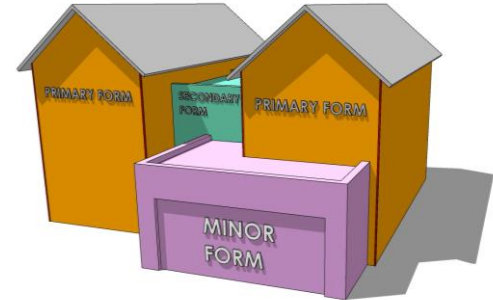
- be designed by an engineer and must be constructed from reinforced concrete.
- be supported by brick-and-mortar columns and or walls.
- have parapet walls.
- all be plastered and painted to match the main house.
- connect to a primary or secondary form.

Verandas, covered patios, carports and garages may be flat concrete slabs.

A minor form may also be an independent room or an extension from the primary or secondary form.

Too many minor forms should be avoided.

Minor forms must not visually overpower the primary form.



8.4. Minor Form – Lean-to Roofs

Lean-to roofs must

- have a pitch between 5 degrees and 15 degrees.
- have a roof finish as per clause 9.2.
- match your primary roof finish.
- be supported by brick-and-mortar columns and or walls.
- all be plastered and painted to match the main house.
- connect to a primary or secondary form.

Verandas and covered patios may be lean-to roofs.

A minor form may also be an independent room or an extension from the primary or secondary form.

Too many minor forms should be avoided.

Roof tiles, slate, and shingles are not permitted.

8.5. Minor Form - Lightweight Steel Frame Structures

Lightweight steel frame structure must

- have a mono pitched roof of between 1 and 15 degrees.
- be a modern/minimalist design.
- have a roof finish as per clause 9.2.
- must be designed and constructed using hot formed steel profiles.

The columns and roof structure can be designed using lightweight mild steel profiles (square, rectangular, I or H profile)

This option needs to be well designed and detailed. Approval is at the sole discretion of the LDRC.

Verandas and covered patios may be lightweight steel frame structures.

Roof tiles, slate, and shingles are not permitted.

Cold formed steel profiles are not permitted.

8.6. Minor Form – Carport (free-standing structures)

Free-standing carports can be constructed from any one of the following.

- 8.6.1. brick and mortar with columns and parapet walls all plastered and painted to match the main house.
Roof finish as per clause 9.2 (excluding the corrugated option) at a pitch of between 1 and 5 degrees.
- 8.6.2. brick and mortar with columns and parapet walls all plastered and painted to match the main house.
Roof finish flat concrete slab.

All box gutters and downpipes are to be concealed behind the parapet walls and are to be built into the brick columns.

Standard steel carports of any kind are not permitted.

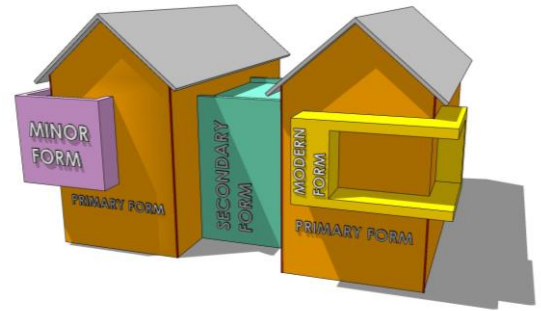
Shade net carports are not permitted.

8.7. Modern, Minimalist forms

Modern, minimalist forms may be introduced as long as it is in keeping with the over design philosophy of the estate.

The approval of modern forms is at the sole discretion of the LDRC.

- Cantilevered oriel window.
- Thin, slender concrete cantilevered shading elements without parapet walls
- Clip on elements with flat concrete roofs



9. ROOFS

Choose a (one) roof finish from 9.1 or 9.2 below. Please note that if your design includes Minor forms, then your primary roof must be selected from 9.2.

9.1. TILES, SLATE OR SHINGLES

You may select one of the following four roof finishes for your primary roof forms.

9.1.1. MARLEY MODERN CONCRETE ROOF TILES.

- Colours allowed are Standard slate or Antique Terracotta.
- must be installed with matching verge and ridge tiles as supplied by the manufacturer.

9.1.2. COVERLAND ELITE CONCRETE ROOF TILES.

- Colours allowed are Farmhouse Terracotta or Farmhouse Kalahari.
- must be installed with matching verge and ridge tiles as supplied by the manufacturer.

9.1.3. MARLEY ALTERNA FIBRE CEMENT SLATE.

- Colour allowed is Slate black.
- must be installed with matching ridge slates and Marley Eco-Tuff Barge board painted to match slate.

9.1.4. AVENG INFRASET HORIZONTAL SHINGLE.

- Colours allowed are Slate Standard or Terracotta Standard.
- must be installed with matching verge and ridge tiles as supplied by the manufacturer.

9.2. Pre-Painted Sheet Metal Roof

You may select one of the following three steel roof profiles for your primary and minor roof forms.

9.2.1. **IBR or CORRUGATED or CONCEALED FIXED (SAFLOK OR KLIPLOK 410/ 700)**

- finished in Chromadek or ColorPlus. Colours allowed Charcoal Grey or Dark Dolphin or Buffalo Brown
- must be installed with matching Chromadek or ColorPlus bargeboard flashing. A flat fibre cement barge board may be installed before the flashing to provide extra stability. Painted to match roof colour.

Prohibited roofing materials and colours.

- Profiled concrete roof tiles, reflective sheet metal roof and thatch.
- Primary or bright colours and painted roof tiles or roof sheeting

9.3. Concrete Slabs and Parapet Walls

9.3.1. **Concrete slabs must**

- have parapet walls.
- be screeded to fall to concealed outlets.
- be waterproofed by a specialist.
- be insulated according to the minimum requirements of SANS10400 XA/204
- be non-reflective and finished in natural lightly coloured stone chip/ gravel – only applicable to roof slabs.

9.3.2. **Parapet walls must**

- be a simple extension of the wall in the same finish.
- be appropriately waterproofed.
- project at least 170mm above the concrete slab it surrounds.
- not be designed with any type of coping or plaster band.

9.4. Roof Eave

- simple roof overhang with exposed sealed* rafters.
- fascia boards (not recommended) but if required may be fibre-cement, painted one or two shades darker than the house colour.
- horizontal eave closures are not permitted.

* Clear wood sealer for a natural wood finish or Carbolineum wood sealer.

9.5. Gutters, Downpipes and Rainwater Harvesting

9.5.1. Gutters are not permitted.

9.5.2. Downpipes must be designed and built into walls to discharge water from concrete slabs.

- a 345mm cavity wall (minimum) is required to conceal the downpipe.

9.5.3. Rainwater harvesting from flat concrete roofs and paved areas may be collected and stored in tanks.

- Downpipes for the collection of rainwater will only be permitted once a rainwater harvesting design solution is submitted and aesthetically approved by the LDRC.
- Tanks must be designed to form an integral feature of your design or alternatively must be appropriately screened.
- Vertical or slimline water storage tanks are allowed (JOJO Tank or RotoTank), only grey or beige in colour.
- Corrugated galvanized rainwater tanks are allowed (Heunis Steel).
- Placement of underground storage tanks must adhere to the building line restrictions.

9.6. Alternative Roof Finish for Verandas and Covered Patios

Chromadek louvre roof hidden behind a brick parapet wall or painted mild steel U or I beam structure.

Nomadic stretch tent.

Design and details as requested by the LDRC at the time of submission must be presented for review. Approval is at the sole discretion of the LDRC.

Gum pole structures, translucent sheeting and timber latte are not permitted.

9.7. Pergolas

Columns/ posts to be one or a combination of the following.

- brick
- hot formed steel profiles - square, rectangular, I or H profiles
- square cut hardwood timber

Beams, rafters, purlins to be constructed from square cut hardwood timber.

Gum pole structures, translucent sheeting and timber latte are not permitted.

10. WALLS

10.1. External Walls

Changes of material or finish or colour on the same wall, on the same plane will not be permitted. Changes are to occur at a logical separation (in a corner, not on a corner). Any step along a façade where a change in colour is required must be more than 230mm.

Wall finishes

- The house is to be constructed from brick and mortar - clay or cement bricks.
- All external walls are to be a minimum of 230mm thick.
- Smooth or scratch plaster and paint
- A total of 20% of the external walls may be finished with accent wall finishes.
 - Approval of all external accent wall finishes is at the sole discretion of the LDRC.
 - All specifications (include images, details, and designs) must be submitted with your stage 1 submission.

The following is a list of the approved accent finishes.

- Natural stone cladding
- Bagged plaster
- Cementitious wall finishes like "Cemcrete"
- Hardwood timber cladding
- Composite timber cladding
- Shiplap cladding - Everite Nutec Vermont building planks with timber grain.
- Off-shutter concrete
- Clay Face bricks
 - Corobrik Firelight Satin FBX
 - Corobrik Roan Satin FBX
 - Corobrik The Black Brick Satin FBX
- Corrugated sheet metal cladding when:
 - the roof cover of the main building is also pre-painted **CORRUGATED** sheet metal.
 - must be same specification as that used on the main building.
- Corten steel

Not permitted

- Raw stock brick walls
- Imitation or concrete type cladding
- Fake or artificial stone cladding
- Plaster bands or concrete copings
- Any other face bricks.
- Precast concrete
- Spanish plaster
- Concrete block walls

10.2. Gable Ends

Gable ends can

- be finished in smooth or scratch plastered and painted to match the main building.
- be clad with Everite Nutec Vermont building planks with timber grain – shiplap.
- be clad with hardwood timber cladding.
- be completely glazed.
- have a ventilator which matches the window frame material and colour.

Not permitted

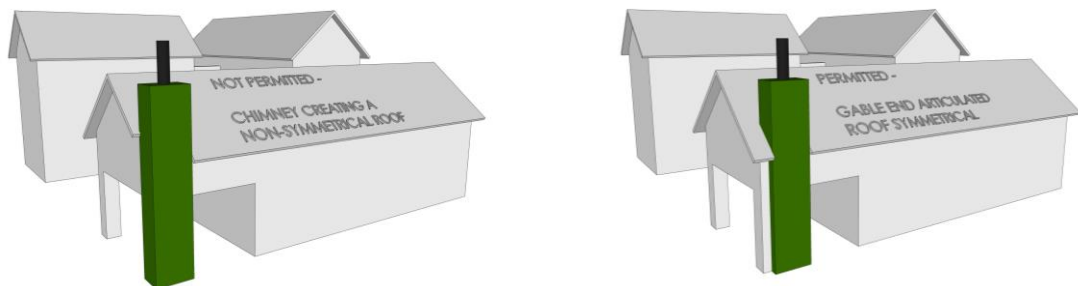
exposed trusses installed externally on the gable ends.

10.3. Chimneys

- Chimneys must be plastered and painted to match external walls.
- Chimneys may be cladded with natural stone cladding. No coping or plaster bands allowed.
- Simple black steel flue pipe with fixed or rotating black cowls are allowed.

Not permitted

stainless steel or chrome flue pipes and cowls



10.4. Retaining Walls

Changes in levels must be addressed by creating terraces, ramps, or steps sympathetic to the natural contours of the site.

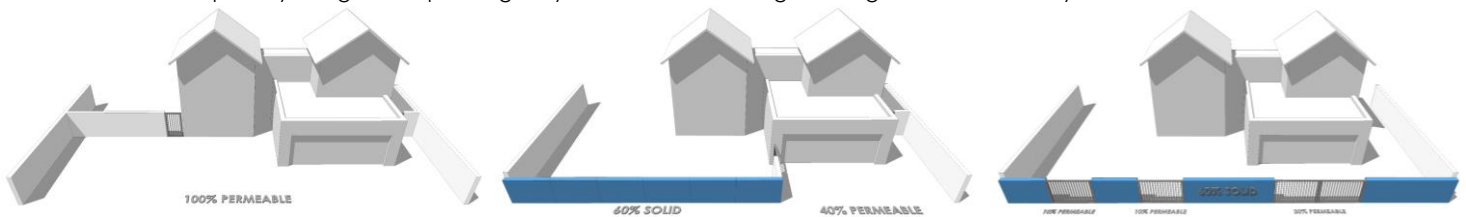
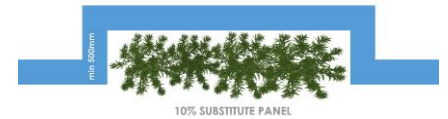
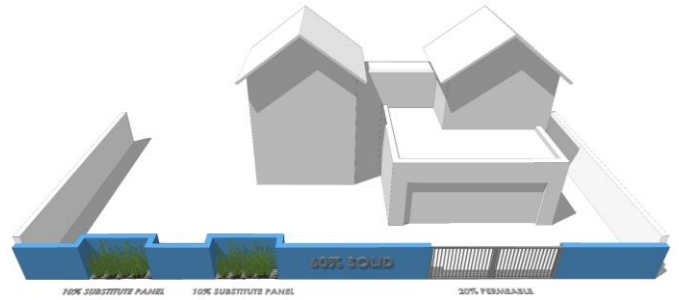
- Retaining structures must not exceed 500mm **from natural ground level**. If additional retaining height is required, the slope must be terraces and the additional retaining wall must be set back by at least 1m.
- Retaining walls must not exceed a **total height** of 1000mm.
- Cutting and retaining along the site boundary is permitted.
- Filling along the site boundary or within 2m of the boundary line is not permitted.
- All retaining structures are to be designed and certified by the appointed structural Engineer.
- Materials and finishes must respond to that of the main structure.
- Planted Loffelstein retaining walls are allowed.

10.5. Boundary Walls and Fences

All boundaries must be walled or fenced as per the rules below. Walls and fences must take into consideration SANS 10400-part D safety requirements for pools. All boundary fences must be future-proofed for pool safety. Only vertically orientated fence panels will be considered.

10.5.1. STREET BOUNDARY

- Street boundaries may not be solid.
- Min height of 1.2m from natural ground level
- Max height of 1.5m from natural ground level
- The street boundary must be visually permeable and therefore only 60% of the total running length of boundary may be solid.
 - As an alternative, half of the permeable panels (max 20% of the total) may be substituted with solid panels, on condition that the panels are stepped back by at least 500mm from the boundary line and the substitute panel must be softened with planting as per the image.
- For added privacy hedges and planting may be established along the length of the boundary.



10.5.2. GREEN BELT BOUNDARY

- Green belt boundaries may not be solid.
- ClearVu (or similar) fencing with matching steel posts is recommended.
- The Min height of piers and fencing panels is 1.2m from natural ground level.
- The Max height of piers and fencing panels is 1.8m from natural ground level.
- A solid section of wall may be built below the fence (between the piers) to a max of 500m from natural ground level.

10.5.3. COMMON BOUNDARY (Boundaries between properties)

- The common boundary wall is to be constructed from brick and mortar - clay or cement bricks finished in smooth or scratch plaster and paint to match the external walls of the house.
- Min height 1.2m from natural ground level
- Max height 1.8m from natural ground level

Design, material and colour of fences and gates should relate closely to the main building structure.

Gates must be designed to match the fence and may not be higher than the adjoining walls.

The street and greenbelt boundary fence must be the same design, material and colour.

Boundary walls and piers to be smooth or scratch plaster and paint all round.

Fence panels to be

- ClearVu or similar with matching steel posts.
- Vertical natural timber slats fixed to mild steel posts.
- Any other visually permeable panel may be proposed but approval is at the sole discretion of the LDRC.

Not permitted

Palisade fencing

Stainless steel or chrome finish

Copings or plaster bands on walls or columns

10.6. Yard Walls

All properties must have a walled yard.

Height of yard walls to be 1.8m from natural ground level.

Yard walls to be smooth or scratch plaster and paint all round.

Clothes lines, gas and bins must be concealed within the yard and must not be visible from the street or green belts.

Space for a minimum of two (2) standard wheely bins must be allowed for in the yard.

Dog kennels must be placed in a position where they are not visible from the street or green belts. Ideally these must be located within the yard.

11. COLOURS

11.1. External Wall Colours










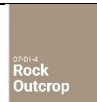








To ensure a sense of colour unity in the estate the following approved colours are to be used.

Only the approved paint colours are to be indicated on the drawings (3D's and elevations) which are submitted for approval.

Should the owner wish to apply for approval of alternative colours, a 2m x 2m sample panel of each colour must be approved on site by the LDRC during construction.

Paint colours to be natural earth tones or warm grey colours.

No primary colours or cool grey colours or colours with a blue hue or paint techniques are permitted.

APPROVED PAINT COLOURS							
RED/ ORANGE HUES							
1	Carrot Spice	O4-C1-2		2	Toffee Fudge	O5-C1-2	
3	Yummy	O5-C1-3		4	Carrot Muffin	O6-C1-2	
5	Harvest Time	O6-C1-3		6	Safari Sun	O7-C1-1	
7	Peanuts	O7-C1-2		8	Butterscotch Mousse	O7-C1-3	
9	Wheat Fields	O7-C1-4					
BROWNS							
10	Rock Outcrop	O7-D1-4		11	Sunny Horizons	O7-D1-3	
12	Forgotten Land	O7-D1-2		13	Bushbuck	Y1-D1-4	
14	Hayseed	Y1-D1-3		15	Old Cobblestone	Y2-D1-4	
16	Gold Estate	Y2-D1-3					
WARM GREYS - LIGHT							
17	Stone Wash	Y2-D2-2		18	Waxen Tint	T2-D2-1	

19	Ivory Ridge	Y3-D2-2	<small>Y3-D2-2</small> Ivory Ridge	20	Beach Wood	Y3-D2-1	<small>Y3-D2-1</small> Beach Wood
21	Cement Wash	Y1-E2-2	<small>Y1-E2-2</small> Cement Wash	22	Soap Bubble	Y2-E2-2	<small>Y2-E2-2</small> Soap Bubble
23	Bauhaus	Y2-E2-1	<small>Y2-E2-1</small> Bauhaus	24	Houri	Y4-E2-2	<small>Y4-E2-2</small> Houri
25	Samovar	Y4-E2-1	<small>Y4-E2-1</small> Samovar	26	River Clay	DC23-69	<small>DC23-69</small> River Clay
YELLOW HUES							
27	Blue Gum Honey	Y1-C1-2	<small>Y1-C1-2</small> Blue Gum Honey	28	Russo Gold	Y1-C1-3	<small>Y1-C1-3</small> Russo Gold
29	Summer Wheat	Y1-C1-4	<small>Y1-C1-4</small> Summer Wheat	30	Fuzzy Duck	Y2-C1-3	<small>Y2-C1-3</small> Fuzzy Duck
31	Pale Honey	Y2-C1-4	<small>Y2-C1-4</small> Pale Honey				
GREEN HUES							
32	Sea Point	Y3-C1-2	<small>Y3-C1-2</small> Sea Point	33	Egoli	Y3-C1-3	<small>Y3-C1-3</small> Egoli
34	Clover Honey	Y3-C1-4	<small>Y3-C1-4</small> Clover Honey	35	Money Tree	Y4-C1-3	<small>Y4-C1-3</small> Money Tree
36	Pale Yarrow	Y3-D1-4	<small>Y3-D1-4</small> Pale Yarrow				
LIGHT BROWNS							
37	Statued	DC8-23	<small>DC8-23</small> Statued	38	Sombrero	DC8-24	<small>DC8-24</small> Sombrero
39	Chaps	DC10-28	<small>DC10-28</small> Chaps	40	Safari Tan	DC10-29	<small>DC10-29</small> Safari Tan
41	Trade Winds	DC10-30	<small>DC10-30</small> Trade Winds	42	Stuffing	DC12-36	<small>DC12-36</small> Stuffing
WARM GREYS - DARK							
43	Baby Elephant	Y1-E1-4	<small>Y1-E1-4</small> Baby Elephant	44	Madonna City	Y1-E1-3	<small>Y1-E1-3</small> Madonna City
45	Touchstone	Y2-E1-4	<small>Y2-E1-4</small> Touchstone	46	Moss Gold	Y2-E1-3	<small>Y2-E1-3</small> Moss Gold
FOCUS COLOURS							
47	Crack Willow	Y7-C1	<small>Y7-C1</small> Crack Willow	48	Hot 'n Spicy	R6-B1-1	<small>R6-B1-1</small> Hot 'n Spicy
49	Sticky Toffee	O5-C1	<small>O5-C1</small> Sticky Toffee	50	Bag 'O Gold	Y3-C1	<small>Y3-C1</small> Bag 'O Gold

11.2. Steel Colours

Steel to be painted

- black,
- charcoal or
- colour to match window frames.

11.3. Timber Finish

Clear wood sealer for a natural wood finish.

Timber can be stained a shade or two darker.

No coloured timber stains

12. WINDOWS AND DOORS

12.1. Aluminium Windows and Doors

Only powder coated aluminium windows and doors are permitted in one of the following colours Bronze, Dark Brown, Charcoal or Black

Window openings are to be either side hung or top hung, not both.

Window and door shapes are to be uniform and proportioned.

Rectangular or Square openings are permitted but must complement each other in design and proportion.

All glazing must comply with SANS 10400 XA and 204.

- If additional shading is required, then sliding aluminium louvers (or a combination of aluminium and timber) will be permitted. Powder coating to match the window frames.

Tinted performance glazing is only permitted in grey colours.

Skylights to be at the same pitch as the roof and only on primary or flat concrete roofs. Velux type roof lights or similar.



The following is not permitted

Primary colours and naturally anodized aluminium,
timber and steel window and door frames.

cottage pane

reflective glazing

arched or curved windows

glass bricks

plaster bands

splayed windows

'Winblok" type windows.

No external burglar bars

Dormer windows

Exception to the above rule

Timber doors and frames (or a mixture of timber and aluminium) may be used for the front door, back door, garage pedestrian door and/ or storeroom door.

These doors and frames can either be naturally stained and sealed or painted in an approved colour.

The doors must be solid timber.

12.2. Garage Doors

Single (2 440 mm wide) or double (4 880mm wide) garage doors are permitted.

Timber, Chromadek steel or Aluminium are permitted.

Timber garage doors are to be naturally sealed.

Chromadek steel and Aluminium garage doors are permitted in the following matt colours

- Buffalo Brown
- Bronze
- Charcoal

The following is not permitted

- Reflective or decorative garage doors
- glass garage doors or garage doors with glass panels
- any other colour
- gloss colours

13. BALUSTRADES

Balustrades must be simple, rectilinear, and contemporary in the design.

Any deviation to the approved design must be approved by the LDRC prior to installation.

The following materials are permitted for external balustrades:

Stainless steel

Stainless steel with glass panels

Frameless glass

Powder coated mild steel

Painted mild steel

230mm thick brick plastered and painted to match the house

The following materials are NOT permitted for external balustrades:

Wrought iron

Timber

Precast Concrete balustrades

Any ornate form or material will not be permitted

14. EXTERNAL LIGHTING

Only warm white (2700K-3000K) energy efficient external lighting fittings will be allowed.

All exterior lights are to be in such a position so as not to be disturbing to neighbours or other residents.

All external lighting must be simple, square, rectangular, circular, or tubular type fittings.

The height of lights along common boundaries may not be more than 1,8m above finished ground level.

NOT Permitted

bright flood lights, security lights or spotlights.

motion sensor security lights.

permanent multi-colored party lights except during the period of the 15th December to the 15th January.

lighting of green belts.

ornate decorative fittings.

15. UTILITIES

15.1. Satellite Dish

Satellite dishes must be mounted as discreetly as possible below the eaves of either a single or double storey.

Dishes must be no more than 600 mm diameter.

Satellite dishes must not be mounted on chimneys or gable ends.

15.2. Air Conditioners and Heat Pumps

Air conditioning and heat pump units must be installed at ground level (Max of 1.2m above finished ground level) and must not be visible from any street.

No reticulation of aircon or heat pump units may be surface mounted.

All aircon and heat pump pipes and wires must be housed in ducts or an inconspicuous manner which does not protrude or stand proud of walls. Trunking can only be used on the inside of the house.

Cool breeze evaporative cooling systems may be used as an alternative to conventional air-conditioning systems.

- If an evaporative cooling system is to be installed it, must be incorporated into the design of your new house.
- To mitigate the negative visual impact of the external unit, the unit must be centrally installed, preferably between two primary roofs.

The positions of all these items are to be submitted to the LDRC for approval prior to installation.

15.3. Solar Panels

Solar and photovoltaic (PV) panels must be flush mounted on the primary roof.

All pipes concealed, any exposed pipes on the roof to be painted same as roof colour.

Only split system solar water heaters are permitted.

Cylinders for solar panels as well as heat pumps must be inside the roof space (or in a storeroom or garage) and must not be visible on the outside.

15.4. Service Pipes and Ducts

All plumbing and service pipes to be concealed within brick ducts which are flush with the external face of the wall (ducts must not protrude towards the exterior).

All ducts to be covered with painted fibre cement panels, natural timber slats or aluminium louvre panels to match colour of windows.

The minimum size for any one duct shall be 220mm deep by 330mm wide.

15.5. Sewerage and Water Connection

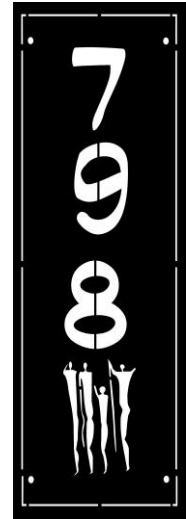
Sewer and water connection points must be indicated on your drawings.

15.6. Fibre Connection Sleeve

A 25mm diameter sleeve must be indicated and installed from the pavement to the house.

15.7. House Numbers and Signage

- All houses must have a house number.
- House numbers must be as per the approved existing designs.
- House numbers must be visible from the street. They can be mounted on the house or on the boundary wall.
- House numbers can be ordered from HOA office.



15.8. Tool Sheds and Play Structures

- These are allowed for non-residential use.
- Colours to be natural earthy tones (similar colour scheme to the house). No primary colours.
- Building lines as per these architectural design rules
- 1 tool shed allowed per stand - Max size of these structures 1.5m (w) x 1.9m (l) and 2.5m to the top of the roof.
- Tool shed must not be visible from any street.
- Play structures are limited to a max of 2.5m to the top of the roof and 1.5m to the top of any platforms measured from finished ground level.
- Boundary wall at play structure must be 1.8m high.
- Refer to clause 7.2 for privacy restrictions.
- Play structures if along a street or green belt must be screened with indigenous planting.
- Thatch lapas, Wendy houses and prefabricated Zozo type huts are not permitted

16. SWIMMING POOLS, WATER FEATURES AND PONDS

- Swimming pools and water features must be indicated on the drawings submitted for approval
- All safety requirements (SANS 10400 PART D) must be indicated on the drawings - no horizontal fence designs will be allowed.
- Fence and wall designs to comply with clause 10.5 of these rules
- All swimming pools, water features and ponds must be equipped with a pump and filtration system
- Swimming pool backwash water must be pumped into a soak away pit on site. No backwash water may leave the site or negatively affect the landscape.

17. STORMWATER

- Storm water must be attenuated (i.e. the directional stream energy must be broken and dispersed) before it is allowed to flow into surrounding natural areas or neighbouring properties.

18. PAVING AND HARD LANDSCAPING

- A strip of paving or concrete at least 1-meter wide must be installed around the perimeter of the building to dissipate stormwater which is discharged from the roof.
- Driveways are to be finished with pavers that are designed for paving only.
- 2 x 110mm U-PVC pipes are to be indicated and installed under the full length of the paving on the sidewalk - 1m from the kerb edge.
- A max of two earthy colours are allowed. (After revision 2022 of the design rules - painting of paving will not be permitted).
- Permeable paving or gravel is allowed.
- Natural stone, slate tiles, non-slip porcelain tiles, timber and composite timber decking is allowed for pool decks, patios, and terraces.
- The design layout must be submitted to the LDRC and approval is at the sole discretion of the committee.
- Modern contemporary art / statues will be considered but approval is at the sole discretion of the LDRC.
- Broken bricks, rough clay and stock bricks are not permitted.
- Artificial ornamentation, precast ornamental concrete art and overelaborate sculptures and statues depicting wildlife or human figures are not permitted.

19. LANDSCAPING

- Only indigenous plant and tree species will be permitted.
- Trees are to be carefully selected and positioned to minimize the obstruction of neighbours views
- Landscaping and maintenance of adjacent sidewalks (area between street kerb and boundary) is the responsibility of the owner.

SUBMISSION FORM

NEW BUILD, ADDITIONS, ALTERATIONS & AS BUILT

APPENDIX A

E R F KOSMOS EXTENSION PHASE *Clause 2.1* RESIDENTIAL 1

This form must be completed and submitted via email to the admin office at reception@lelokohoa.co.za with the following supporting documents.

ALL SUPPORTING DOCUMENTS MUST BE PROVIDED BEFORE THE DROP BOX LINK WILL BE SHARED.

<input type="checkbox"/> Proof of payment of review fee as per clause 3 of the latest guidelines.	<input type="checkbox"/> HOA
Professional Architect / Professional Senior Architectural Technologist	
<input type="checkbox"/> Current SACAP certificate	<input type="checkbox"/> HOA
<input type="checkbox"/> Current professional indemnity insurance certificate	<input type="checkbox"/> HOA
Professional Land Surveyor (ONLY APPLICABLE TO NEW BUILD)	
<input type="checkbox"/> Proof of registration with SAGC - in the form of a letter of current good standing,	<input type="checkbox"/> HOA
<input type="checkbox"/> Proof of current Professional Indemnity cover.	<input type="checkbox"/> HOA
<input type="checkbox"/> Property Survey plan as per clause 5 of the latest guidelines	<input type="checkbox"/> HOA

CONTACT INFORMATION

<u>OWNER</u>		
Name and Surname		
Cell Number		
e-mail Address to be used for Dropbox link		
Date		
		SIGNATURE

<u>PROFESSIONAL ARCHITECT or PROFESSIONAL SENIOR ARCHITECTURAL TECHNOLOGIST</u>		
Name and Surname		
Cell Number		
SACAP Registration Number		
Name of Architectural Practice registered with SACAP		
e-mail Address to be used for Dropbox link		
		SIGNATURE

I, _____, ID Number

in my capacity as (mark option which is applicable)

- Professional Architect
- Professional Senior Architectural Technologist

declare that I have familiarise myself with the contents of the Leloko Architectural Design Rules and that I adhere to all the guidelines and restrictions contained therein.